

## MEMORANDUM

April 1<sup>st</sup>, 2015

**TO:** Landmarks Board

**FROM:** Lesli Ellis, Comprehensive Planning Manager  
James Hewat, Senior Historic Preservation Planner  
Marcy Cameron, Historic Preservation Planner  
Angela Smelker, Historic Preservation Intern

**SUBJECT:** Public hearing and consideration of a Landmark Alteration Certificate to add to a historically contributing carriage house at 541 Highland Ave. in the Mapleton Hill Historic District, per section 9-11-18 of the Boulder Revised Code (HIS2015-00029).

### STATISTICS:

- |    |                  |                                  |
|----|------------------|----------------------------------|
| 1. | Site:            | 541 Highland Avenue              |
| 2. | Zoning:          | RL-1 (Residential Low-1)         |
| 3. | Applicant:       | Barbee James                     |
| 4. | Owner:           | Christopher and Jennifer Centeno |
| 5. | Site Area:       | 24,375 sq. ft.                   |
| 6. | Existing Garage: |                                  |
| 7. | Proposed Garage: |                                  |

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### STAFF RECOMMENDATION:

It is staff's opinion that the proposal to add to and remodel the existing carriage house to provide for a three-car garage is inappropriate as it does not meet the standards as set out in Subsection 9-11-18(b) and (c), B.R.C. 1981. Staff recommends the Landmarks Board adopt the following motion:

I move that the Landmarks Board deny the application for the additions to and remodeling of a the contributing accessory building at 541 Highland Avenue as shown on plans dated January 10, 2015, finding that it does not meet the standards for issuance of a Landmark Alteration Certificate in Section 9-11-18, B.R.C. 1981, and is inconsistent with Section 4, Additions to Historic Structures, and Section 7, Garages and Other Accessory Structures of the *General Design Guidelines*, and Section D, Alleys, Easements and Accessways of the *Mapleton Hill Historic District Guidelines*.

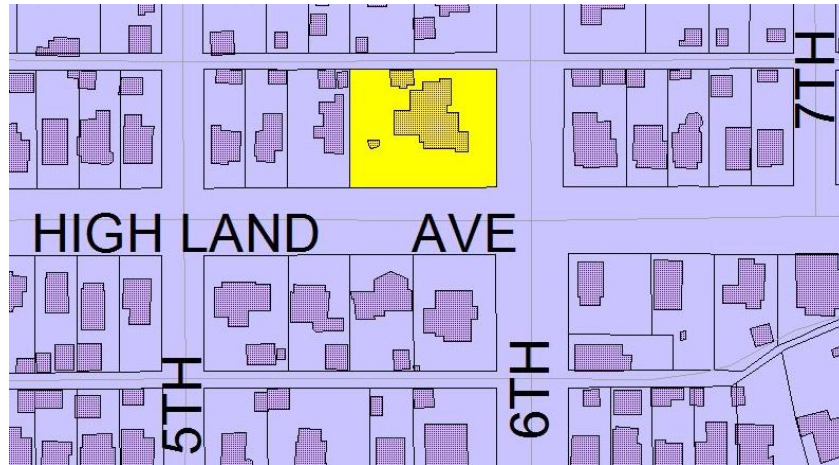
Staff recommends the applicant consider making the existing east door to the contributing accessory more accessible for a car and explore the possibility of constructing a new one-car garage on the property.

### **SUMMARY**

- The application to add to and remodel the contributing carriage house was referred for Landmarks Board consideration in a public hearing by the Landmarks design review committee.
- The existing accessory building was constructed prior 1918 and is within the (1865-1946) period of significance of the Mapleton Hill Historic District.
- Staff considers the highly visible and intact building to contribute to the Mapleton Historic District. Staff considers that the garage adds to the architectural diversity of the historic district.
- Staff considers the proposed addition to and remodeling of the building to be inconsistent with Section 4, Additions to Historic Structures, and Section 7, Garages and Other Accessory Structures of the *General Design Guidelines*, and Section D, Alleys, Easements and Accessways of the *Mapleton Hill Historic District Guidelines* and that it does not meet the Standards for Issuance of a Landmark Alteration Certificate as outlined in Section 9-11-18 of the historic preservation ordinance.
- Staff recommends that Landmarks Board deny the application or, alternatively, provide the applicant the opportunity to withdraw the request to redesign, preserve the historic garage and explore the possibility of constructing a new one-car garage on the property.

### **PROPERTY HISTORY:**

The property at 541 Highland Avenue is located in the Mapleton Hill Historic on a 24,375 square foot lot at the northeast corner of Highland Avenue and 6<sup>th</sup> Street. An alley runs along the north edge of the property. In addition to be a contributing property to the Mapleton Hill Historic District, the property is an individual historic landmark known as the Whitney-Holmes House.



*Figure 1. Location Map*

The house was constructed in 1890 and there is some suggestion it was designed by Henry Hobson Richardson, or by an architect from the firm that carried on after Richardson's death in 1886. The Holmes family, which owned the house for many years prior to the current owners, found an envelope in the house with the Richardson firm logo on it. Richardson was an internationally-known architect for whom the Richardsonian-Romanesque Revival manner is named and who worked primarily in cities such as Boston, Pittsburgh, Chicago, and New York City. "The house's rough-hewn stone and shingles for exterior walls, the architectural suggestion of towers, and the unique treatment of stairways" are all characteristics of the Richardsonian-Romanesque.<sup>1</sup>



*Figure 2. 541 Highland, Tax Assessor Photograph, c. 1949*

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<sup>1</sup> Barker, Jane. *76 Historic Homes of Boulder, Colorado*.



Dr. William Duane,  
undated.  
[www.nasonline.com](http://www.nasonline.com)

The house was constructed for Frank J. Whitney shortly after he purchased the land in 1890. Whitney was owner of Whitney's Drugstore and University Book Store at 1240 Pearl Street. In 1894, he moved to Massachusetts.

William Duane purchased the property in 1900 shortly after he took the position of chairman of the University of Colorado Physics Department. In 1904, Dr. Duane accepted an invitation to study with French chemists Pierre and Marie Curie in Paris.

In 1904, Dr. William Harlow purchased the property. He joined the faculty of the University of Colorado's Medical School and in 1907, was appointed Dean of the Medical School.



Dr. William Harlow,  
1909.

Helen Marshall acquired the house in 1935. She was in the restaurant business from 1913 to 1940, operating Marshall's Cafeteria at 2027 Broadway and later at 2040 Broadway, as well as restaurants in Greeley, Ft. Morgan, and Sterling.

In 1945, Judge Horace Holmes and his wife, June, purchased the house. Judge Holmes was a county judge and was well-known for his work with juvenile offenders. He served on Boulder's Landmarks Board for a number of years.

Jennifer and Christopher Centeno purchased the property from June Holmes in 2005 at which time they undertook an extensive rehabilitation of the house, including construction of a swimming

pool at the northwest corner of the property, referencing a swimming pool that had been built in the 1920s.

### **PROPERTY DESCRIPTION:**

Constructed in 1890, the brick and frame house features square-cut shingles on the second floor up to the gabled roof peak. The gabled roof is flared at the edges and the window trim is painted white. Two additions have been constructed to the house over the years: the more recent appears to have been made to the north face of the house sometime in the 1960s.

The carriage house is located north of the house, bordering the northern property line. According to the 2005 Accessory Building Survey, it was constructed prior to 1918. A one-story building similar in size and footprint to the current garage first appears on the

1910 Sanborn Map (the previous map, 1906, shows a one story, smaller accessory building in this location). The map indicates the building as being constructed of brick and two stories tall. A historic photo dated c.1890-1900 of Mapleton Hill shows the property at 541 Highland Avenue and the carriage house does not appear. Therefore, it is likely that the carriage house was constructed sometime between 1906-1910.

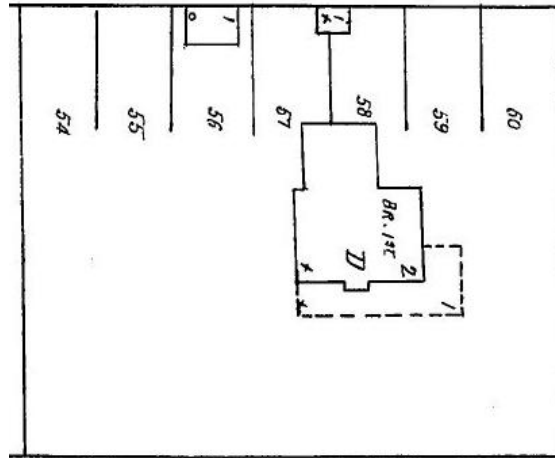


Figure 3. 541 Highland, 1906 Sanborn Image.

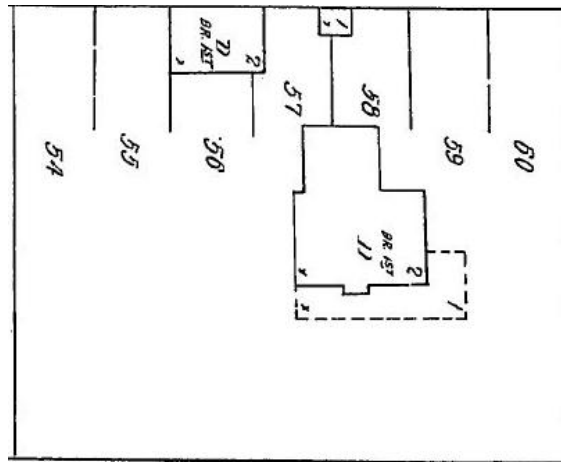


Figure 4. 541 Highland, 1910 Sanborn Image.



*Figure 5. View of 541 Highland Ave., c.1890-1900.*



*Figure 6. 541 Highland Ave., Main House, 2015.*

It is unclear whether the carriage house was associated with the plans believed to be designed by H.H. Richardson, but it does share visual similarities with the main house. The carriage house has a gambrel roof with wood shingle roofing and wood shingle gable fronts. Two vertical board doors with diagonal bracing face 6<sup>th</sup> St., and Palladian window are located on the east elevation. Two segmented arch double-hung windows are located on the north elevation facing the alley. A staircase leads to the upper level on the west side where a door, a single-light window, and a double-hung window are located. On the south elevation there is a dormer with paired double-hung windows and two more double-hung windows are located on the first floor. The 2005 Accessory Building Survey found the carriage house to be in good condition and contributing to the Mapleton Hill Historic District.



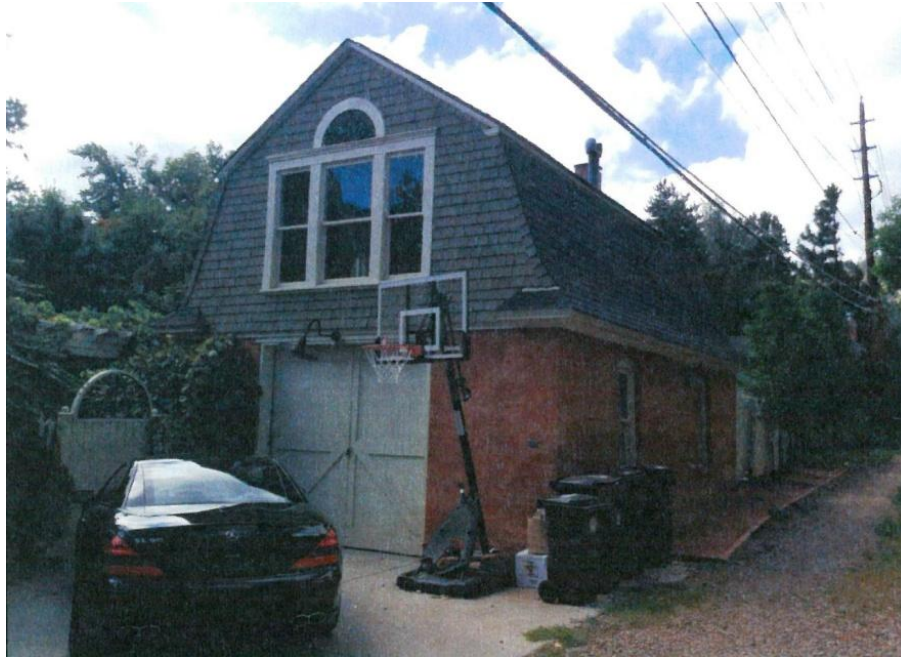


Figure 7. 541 Highland Ave., east and north elevations of the garage, 2015.

A small contributing shed is located near the west lot line. According to the 2005 Accessory Building Survey, it features wood siding, trim, and exposed rafter tails and was constructed c. 1946. See Attachment A: Historic Building Inventory Form.

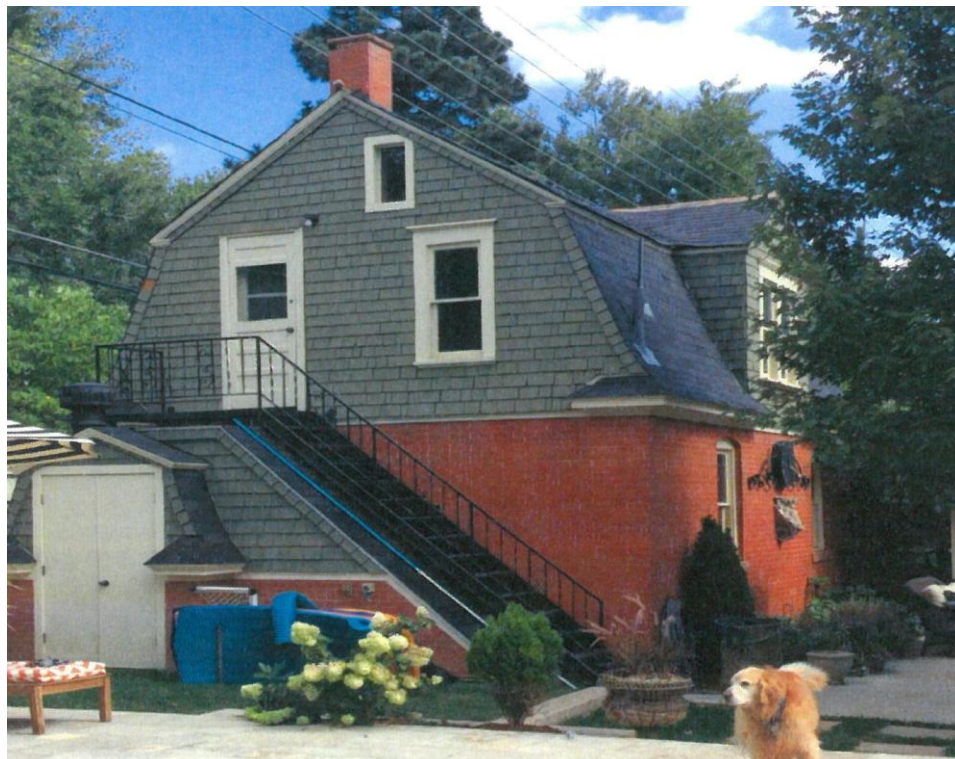


Figure 8. 541 Highland Ave., west and south elevations of the garage, 2015.

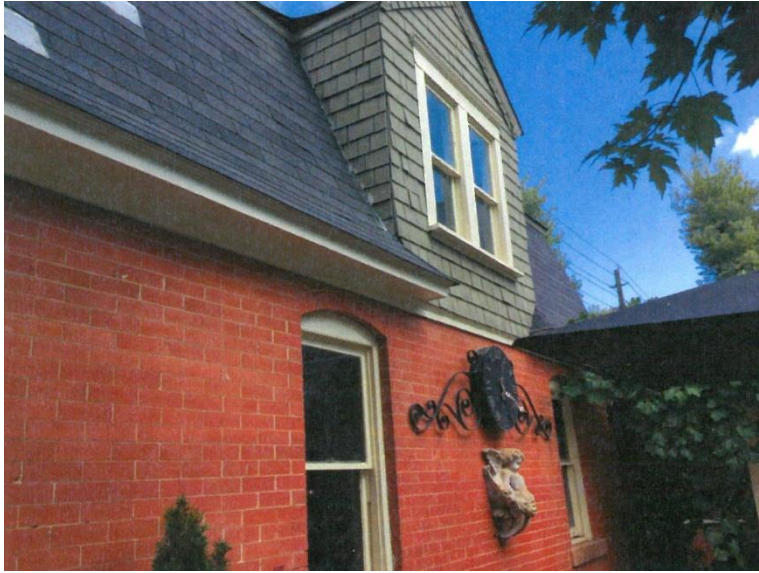


Figure 9. 541 Highland Ave., view of south elevation of garage, 2015.

# **PROPOSAL:**

The applicant proposes to add to the east and south faces and to add two garage doors on the north (alley side) of the carriage house to provide additional vehicular storage.

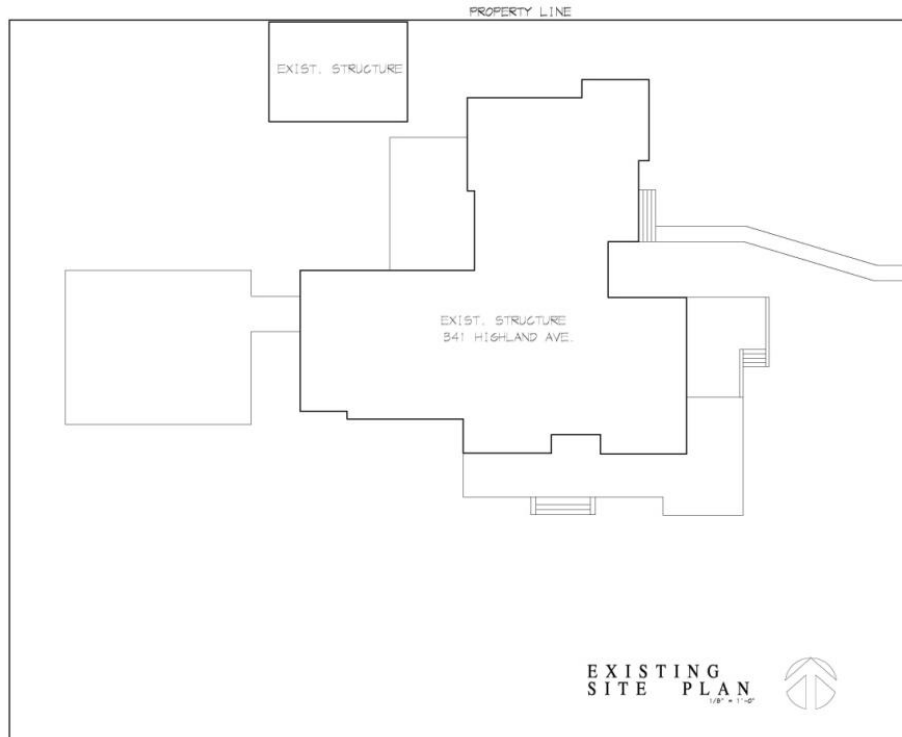


Figure 10. 541 Highland Ave., existing site plan, 2015.



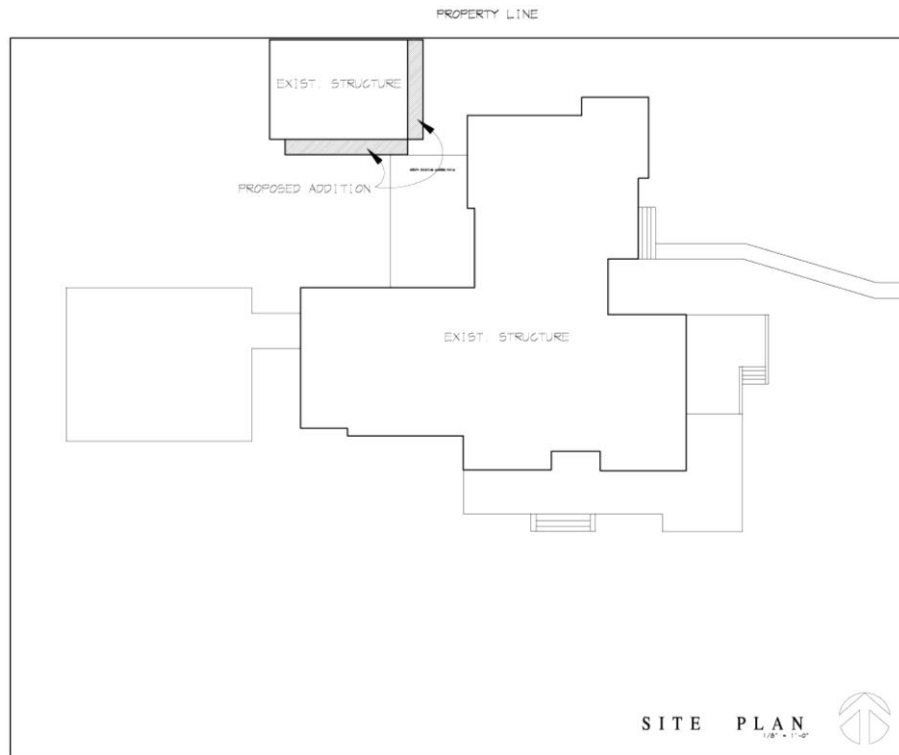


Figure 11. 541 Highland Ave., proposed site plan, 2015.

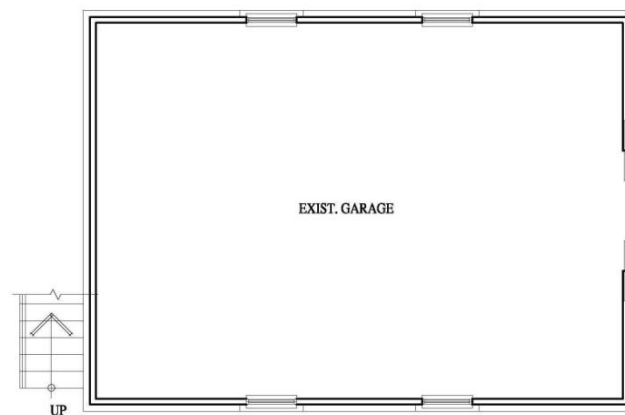


Figure 12. 541 Highland Ave., existing main level, 2015.

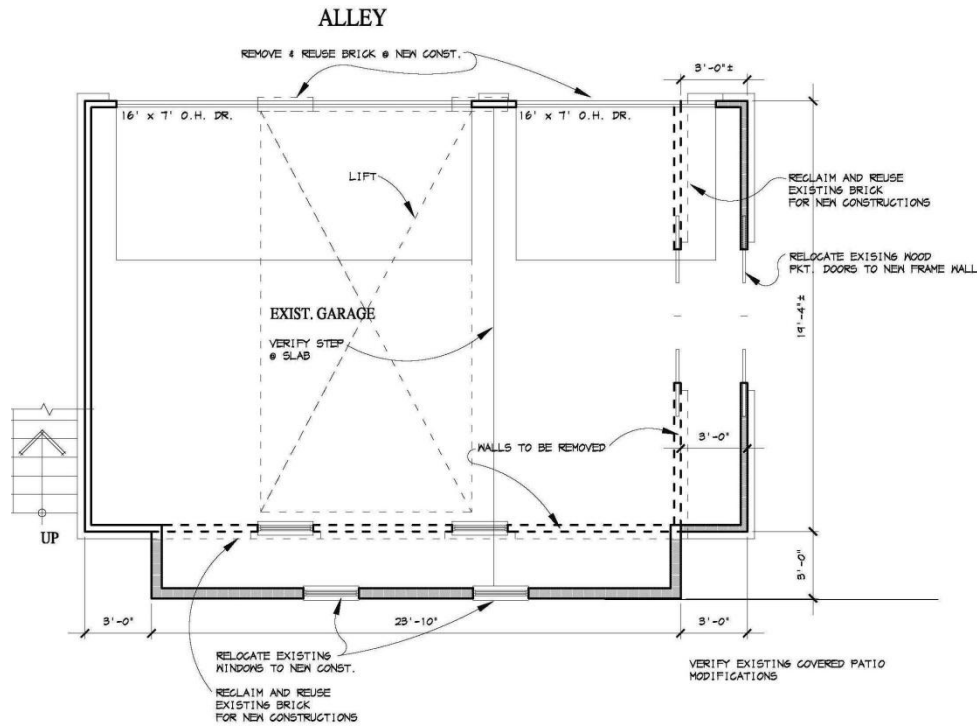


Figure 13. 541 Highland Ave., proposed main level plan, 2015.

In plan, an addition measuring 23 feet and 11 inches and 3 feet deep is proposed to extend from the south face of the garage. A second addition measuring 19 feet and 4 inches by 3 feet is proposed to extend from the east elevation. Overall, the carriage will remain rectangular in plan with the size of the building increasing approximately 130 sq. ft. from 579 sq. ft. to 709 sq. ft. (first floor calculated only).

On the proposed south addition, the existing windows are shown to be relocated onto the new construction, and existing walls to be removed and brick to be reclaimed and reused for new construction. The dormer currently located on the south elevation was either erroneously omitted from the drawings, or the drawing was incorrectly labeled as the south elevation.

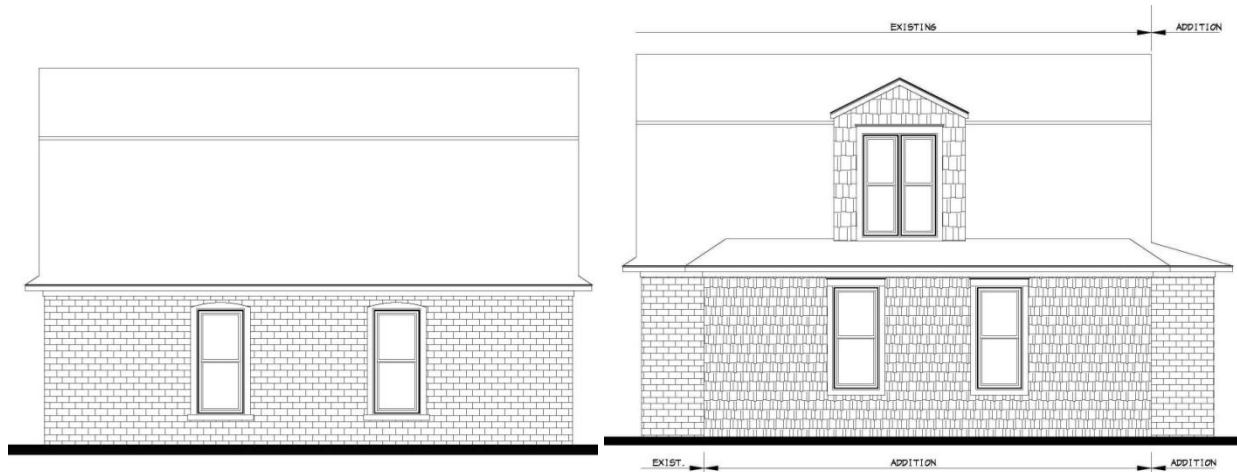


Figure 14. 541 Highland Ave., existing (l) and proposed (r) south elevation, 2015.

The proposed east elevation addition shows the existing brick to be reclaimed and reused, however, it appears that some new brick will also be required. A low hipped roof is shown to enclose the one-story addition as is the case on the proposed north addition. The existing wood doors are shown to be relocated to the new east wall but the dimension is shown to be at least 2' narrower than the existing. The upper half of the wall with the existing windows will remain in their current location.

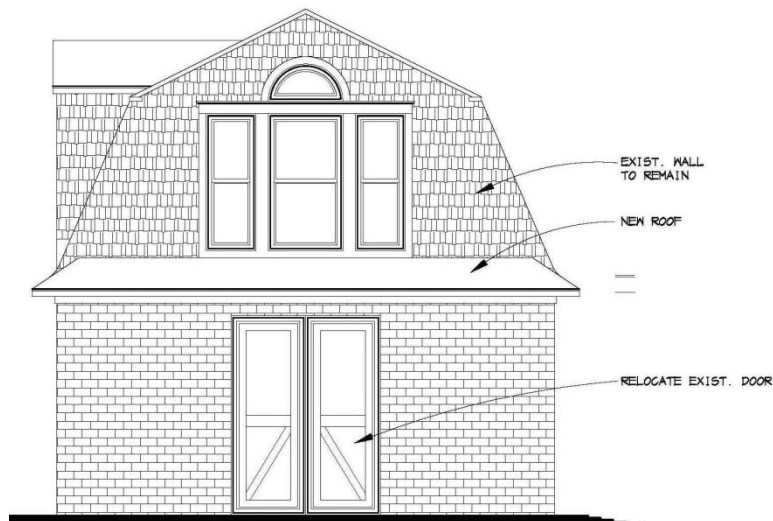


Figure 15. 541 Highland Ave., proposed east elevation, (existing view of east elevation not provided by applicant) 2015.

On the north face, the existing double hung sash are shown to be removed and two, overhead garage doors are proposed to provide access for three cars into the building.

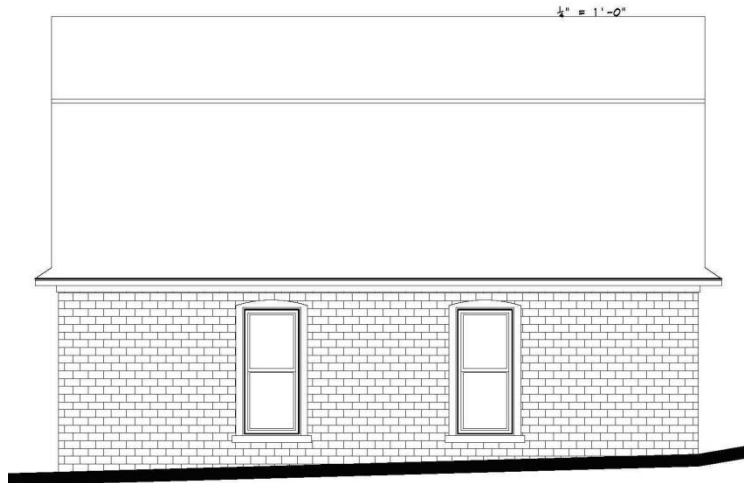


Figure 16. 541 Highland Ave., existing north elevation, 2015.

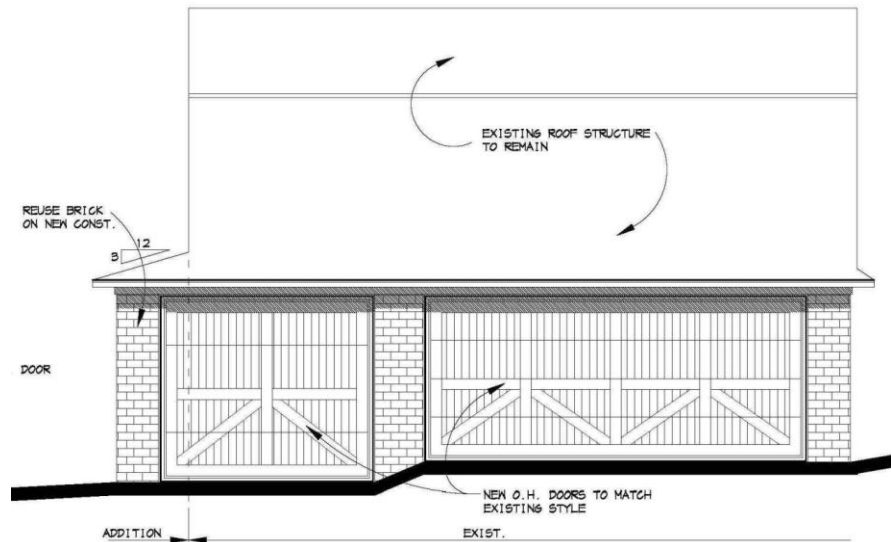


Figure 17. 541 Highland Ave., proposed north elevation, 2015.

A drawing of the west elevation was not provided though no changes to that face of the building are proposed.

### **CRITERIA FOR THE BOARD'S DECISION**

Subsection 9-11-18(b) and (c), B.R.C. 1981, sets forth the standards the Landmarks Board must apply when reviewing a request for a Landmark Alteration Certificate.

(b) Neither the Landmarks Board nor the City Council shall approve a Landmark Alteration Certificate unless it meets the following conditions:

(1) The proposed work preserves, enhances, or restores and does not damage

- or destroy the exterior architectural features of the landmark or the subject property within an historic district;
- (2) The proposed work does not adversely affect the special character or special historic, architectural, or aesthetic interest or value of the landmark and its site or the district;
  - (3) The architectural style, arrangement, texture, color, arrangement of color, and materials used on existing and proposed constructions are compatible with the character of the existing landmark and its site or the historic district;
  - (4) With respect to a proposal to demolish a building in an historic district, the proposed new construction to replace the building meets the requirements of paragraphs (b)(2) and (3) above.
- (c) In determining whether to approve a landmark alteration certificate, the Landmarks Board shall consider the economic feasibility of alternatives, incorporation of energy-efficient design, and enhanced access for the disabled.

### **ANALYSIS**

*1. Does the proposed application preserve, enhance, or restore, and not damage or destroy the exterior architectural features of the landmark or the subject property within a historic district?*

The garage at 541 Highland Ave. is a highly visible and historically significant feature to the property and this area of the Mapleton Hill Historic District. Staff considers that the proposed changes would damage and destroy important architectural features on the east and north faces of the building and be to the detriment of the property and the Mapleton Hill Historic District as a whole.

*2. Does the proposed application adversely affect the special character or special historical, architectural, or aesthetic interest or value of the district?*

Staff considers that the proposed addition and alterations to the contributing building would diminish the architectural diversity and adversely affect the special character of the immediate alleyscape and Mapleton Hill Historic District as a whole.

*3. Is the architectural style, arrangement, texture, color, arrangement of color, and materials used on existing and proposed structures compatible with the character of the historic district?*

Staff considers the proposal to be incompatible with the architectural style, arrangement, texture, color, arrangement of color, and materials of the building, the property and the immediate alleyscape in the historic district. Staff considers that alterations of and additions to the contributing accessory building would adversely impact the historic architectural character of the building and property as a whole in the



Mapleton Historic District (see Design Guidelines Analysis section).

4. Does the proposal to demolish the building within the Mapleton Hill Historic District and the proposed new construction to replace the proposed demolished building meet the requirements of paragraphs 9-11-18(b)(2) and (3) of this section?

Not applicable.

## DESIGN GUIDELINES

The Historic Preservation Ordinance sets forth the standards the Landmarks Board must apply when reviewing a request for a Landmark Alteration Certificate and the board has adopted the *General Design Guidelines* to help interpret the ordinance. The following is an analysis of the submitted proposal with respect to relevant guidelines. It is important to emphasize that design guidelines are intended to be used as an aid to appropriate design, and not as a checklist of items for compliance.

The following is an analysis of the proposal's compliance with the applicable design guidelines:

### GENERAL DESIGN GUIDELINES FOR GARAGES & OTHER ACCESSORY BUILDINGS.

2.3	Site Design: Alleys		
	<p>The alleys in historic districts were traditionally used for secondary access to the houses, for deliveries, and as storage places for horses and buggies, and later, for cars. A view of the backyards from the alleys was maintained. While today's alleys have evolved into use as pedestrian paths for jogging, bicycling and dog walking, they still contribute to the historic character of the neighborhood. They are typically minimally paved.</p> <p>Along the alleys are historic accessory buildings of various shapes and sizes including barns, chicken coops, sheds and small garages. This variety contributes to the general feeling of human scale in the alleys.</p>		
	Guidelines	Analysis	Conforms?
.1	<i>Maintain alley access for parking and retain the character of alleys as clearly secondary access to properties.</i>	Rear parking is maintained by the proposal.	<b>Yes</b>
.2	<i>Retain and preserve the variety and character found in the existing historic accessory buildings along the alleys.</i>	Proposed additions will have significant impact to a contributing accessory building.	<b>No</b>

4.1	Protection of Historic Structures and Sites
	<i>The primary concern of the Landmarks Board in reviewing additions to historic structures is the</i>

	<i>protection of the existing structure and the character of the site and district.</i>		
	<b>Guideline</b>	<b>Analysis</b>	<b>Meets Guideline?</b>
.1	<i>Construct new additions so that there is a least possible loss of historic fabric and so that the character-defining features of the historic building are not destroyed, damaged or destroyed</i>	Significant amount of historic fabric will be lost with proposed additions at east, north and south faces of building including brick, windows, doors and trim.	No
.2	<i>New additions should be constructed so that they may be removed in the future without damaging the historic structure.</i>	As shown, the additions and changes to the north face of the building will not be reversible.	No
.3	<i>It is not appropriate to construct an addition that will detract from the overall historic character of the principal building and/or the site, or if it will require the removal of significant building elements or site features.</i>	The proposed additions and remodel of the north face of the building will result in removal/changes to significant character defining features of the carriage house including removal of brick walls, door windows and addition of new roof areas that will be visible from a public way.	No
<b>4.2</b>	<b>Distinction from Historic Structures</b>		
	<i>All additions should be discernible from the historic structure. When the original design is duplicated the historic evolution of the building becomes unclear. Instead, additional should be compatible with the historic architecture but clearly recognizable as new construction.</i>		
	<b>Guideline</b>	<b>Analysis</b>	<b>Meets Guideline?</b>
.1	<i>Distinguish an addition from the historic structure, but maintain visual continuity between the two. One common method is to step the addition back and/or set it in slightly from the historic structure.</i>	Proposed additions will provide visual continuity, but location and extent of additions and modifications will change overall historic character of the building.	No
.2	<i>Do not directly copy historic elements. Instead, interpret historic elements in simpler ways in the addition.</i>	Design does not copy historic elements of building and distinction between old and new may be clear but extent of alteration incompatible with the character of the historic	No

		building.	
.3	<i>Additions should be simpler in detail than the original structure. An addition that exhibits a more ornate style or implies an earlier period of architecture than that of the original is inappropriate.</i>	Proposed additions not more ornate than existing though building's form and mass will change substantially with proposed additions and remodeling of north face. Reuse of brick may imply an earlier era of alteration.	No
<b>4.3</b>	<b>Compatibility with Historic Buildings</b>		
	<i>Introducing new construction that contrasts sharply with an existing historic structure or site detracts from the visual continuity that marks our historic districts. While additions should be distinguishable from the historic structure, they must not contrast so sharply as to detract from the original building and/or the site. Additions should never overwhelm historic structures or the site, in mass, scale or detailing.</i>		
	<b>Guideline</b>	<b>Analysis</b>	<b>Meets Guideline?</b>
.1	<i>An addition should be subordinate to the historic building, limited in size and scale so that it does not diminish or visually overpower the building.</i>	Proposed addition will have high public visibility and will change the overall form and historic character of the building.	No
.2	<i>Design an addition to be compatible with the historic building in mass, scale, materials and color. For elevations visible from public streets, the relationship of solids to voids in the exterior walls should also be compatible.</i>	Proposed addition will have high public visibility and will change the overall form and character of the building.	No
.4	<i>Reflect the original symmetry or asymmetry of the historic building.</i>	Symmetry of the historic building will be adversely affected with east addition and proposed modifications to north face of building.	No
.5	<i>Preserve the vertical and horizontal proportion of a building's mass.</i>	The form of the building will be visually impacted from the alley by proposed east addition.	No

<b>4.4</b>	<b>Compatibility with Historic Site and Setting</b>		
	<i>Additions should be designed and located so that significant site features, including mature trees, are not lost or obscured. The size of the addition should not overpower the site or dramatically alter its historic character.</i>		
	<b>Guideline</b>	<b>Analysis</b>	<b>Meets Guideline?</b>
.1	<i>Design new additions so that the overall character of the site, site topography, character-defining site features and trees are retained.</i>	Site features will not be altered by proposed addition.	Yes
.2	<i>Locate new additions on an inconspicuous elevation of the historic building, generally the rear one. Locating an addition to the front of a structure is inappropriate because it obscures the historic facade of a building.</i>	Addition at east and north of building on alley, the proposed east addition and modifications to the north elevation will irreversibly obscure character defining and publicly visible elevations of the building.	No
.3	<i>Respect the established orientation of the original building and typical alignments in the area.</i>	Addition will affect the historic alignment of the building along the alleyscape.	No
<b>4.5</b>	<b>Key Building Elements</b>		
	<i>Roofs, porches, dormers, windows and doors are some of the most important character-defining elements of any building. As such, they require extra attention to assure that they compliment the historic architecture. In addition to the guidelines below, refer also to Section 3.0 Alterations for related suggestions.</i>		
	<b>Guideline</b>	<b>Analysis</b>	<b>Meets Guideline?</b>
.1	<i>Maintain the dominant roofline and orientation of the roof form to the street.</i>	Dominant roofline will not be affected by proposed additions.	Yes
.2	<i>Rooflines on additions should be lower than and secondary to the roofline of the original building.</i>	Roofline of additions shown to be lower and secondary to main roofline.	Yes
.3	<i>The existing roof form, pitch, eave depth, and materials should be used for all additions.</i>	The proposed shed roof forms are not incompatible with main roof form of building.	Maybe

.5	<i>Maintain the proportion, general style, and symmetry or asymmetry of the existing window patterns.</i>	Fenestration on east addition shows narrower opening and door than on existing, though drawing specifies door will be the same in new opening. South addition shows existing windows to be reused. Proposed fenestration of north elevation is incompatible with existing symmetry and pattern of that highly visible face of the building.	Maybe
.6	<i>Use window shapes that are found on the historic building. Do not introduce odd-shaped windows such as octagonal, triangular, or diamond-shaped</i>	New garage doors on north face of contributing garage are incompatible with openings on building.	No

7.0 Garages & Other Accessory Structures			
<p><i>Accessory buildings include barns, sheds, garages and outbuildings. Originally accessory structures were used for storage of equipment, animals, or carriages. Generally, these structures have been adapted for the storage of cars. In most cases, accessory building were located to the rear of the lot and accessed by alleys. They were subordinate in size and detailing to the primary house. Over time they have emerged as important elements of many lots and alleys in the district. Efforts should be made to protect the eclectic character of alleys.</i></p> <p><i>Both additions to existing accessory buildings and new accessory building will be evaluated in terms of how they affect the historic character of the individual site and the district as a whole. In the past, larger accessory structures have been allowed than may be appropriate today.</i></p>			
7.1 Existing Historic Accessory Buildings			
<p><i>A primary concern of the Landmarks Board in reviewing proposed changes in historic districts is the protection of existing historic accessory buildings and the character of the site and district.</i></p>			
	GUIDELINES:	ANALYSIS:	CONFORMS
.1	<i>Retain and preserve garages and accessory buildings that contribute to the overall character of the site or district.</i>	The existing accessory building was constructed between 1906 and 1910 and falls within the period of significance for the Mapleton Hill Historic District. It has not been significantly altered. Proposed addition east face of building and replacement of windows with garage doors on north face will	No



		have adverse effect on historic character of the building.	
.2	<i>Retain and preserve the character-defining materials, features, and architectural details of historic garages and accessory buildings, including roofs, exterior materials, windows and doors.</i>	Existing accessory building remains largely intact to its original construction and retains its original materials with the exception of the garage door. Proposed east addition and change in fenestration at north face of building is inconsistent with this guideline.	<b>No</b>

### Mapleton Hill Historic District Guidelines

The following section is an analysis of the proposal relative to Section VI of the *Mapleton Hill Historic District Design Guidelines*. Only those guidelines that further the analysis of the proposed project are included and those that reflect what has been evaluated in the previous section are not repeated.

<b>D ALLEYS, EASEMENTS AND ACCESSWAYS</b>			
	<i>Alleys are a strong visual element of the district, and have much variety of scale and detail. They play an important part in the development patterns that give the more visible areas their character. Alleys provide access to rear parking and garages. They have a varied edge quality, with building both on the property lines and set back. The size and quality of these accessory building varies considerably. Careful consideration should be given to changes in traditional use.</i>		
	Guideline	Analysis	Conforms?
5.	<i>Efforts should be made to maintain character of the alleys in the district</i>	Existing accessory was built between 1906 and 1910, within the period of significance of the Mapleton Hill Historic District. It has been largely unaltered since its construction. 2005 Accessory building survey determined building to be contributing to the character of the Mapleton Hill Historic District. Proposed changes to the building will affect the character of the building and the immediate alleyscape.	<b>No</b>

Staff considers that because the existing accessory building was built within the Mapleton Hill Historic District's period of significance (1865-1946), has not been significantly altered and represents one of the most visible and historically significant accessory buildings in this area, it should be considered contributing to the character of

the Mapleton Hill Historic District. Staff also considers that the proposal is inconsistent with Section 4, Additions to Historic Structures, and Section 7, Garages and Other Accessory Structures of the *General Design Guidelines*, which state it is inappropriate to add to and modify a contributing building in such a way that its historic character will be significantly diminished. Given the high visibility and important character defining features on the east and north faces of the building, the proposed addition and modifications are inappropriate. As such, the proposed additions to and remodeling of the accessory building would be generally inconsistent with the *General Design Guidelines* and *Mapleton Hill Historic District Design Guidelines* and would not meet the standards set out in Section 9-11-18, B.R.C. 1981.

Staff recommends that the applicant consider withdrawing the application and redesign the project in a manner that would not adversely affect the character of the historic accessory building or the property as a whole. Consideration might be given to constructing a one-car garage on the alley to provide additional parking and making the east entrance to the existing carriage more functional in order to house a car.

## **FINDINGS**

Staff recommends that the Landmarks Board disapprove the application and adopt the following findings:

1. The proposed additions to and modifications of the contributing accessory building are inappropriate and do not meet the standards as set out in Subsection 9-11-18(b) and (c), B.R.C. 1981
2. The proposed additions to and modifications of the contributing accessory building are inconsistent with Section 4, Additions to Historic Structures, and Section 7, Garages and Other Accessory Structures of the *General Design Guidelines*, and Section D, Alleys, Easements and Accessways of the *Mapleton Hill Historic District Guidelines*.

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## **ATTACHMENTS:**

- A: Historic Building Inventory Forms
- B: Assessor Card
- C: Photographs
- D: Plans and Elevations
- E: Applicant's Submittal

# Attachment A: Historic Building Inventory Forms

COLORADO HISTORICAL SOCIETY Office of Archaeology and Historic Preservation 1300 Broadway, Denver, Colorado HISTORIC BUILDING INVENTORY RECORD CITY OF BOULDER, COLORADO Boulder County		NOT FOR FIELD USE __ELIGIBLE __DET NOT ELIG __NOMINATED __CERTIFIED REHAB __DATE _____
-----		
PROJECT NAME: BOULDER HISTORIC PLACES		State ID#: 5BL535.34
-----		
*Building Name:	Temporary #: 122	
-----		
*Building Address: 541 HIGHLAND AVENUE	BOULDER, COLORADO 80302	
-----		
Building Owner: JUNE S. HOLMES		
Owner Address: 541 HIGHLAND AVENUE BOULDER, COLORADO 80302		
-----		
USGS Quad: BOULDER	Quad Year: 1979 7.5'	
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*Legal: Tnsp 1NW Range 71W Section 25 NW1/4 SE1/4		
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*Historic Name: WHITNEY-HOLMES HOUSE		
District Name: MAPLETON HILL HISTORIC (CERTIFIED LOCAL)		
-----		
Block: 5	Lot: 54-60	Addition: MAPLETON
Year of Addition: 1888		
-----		
Film Roll By: WHITACRE	Film Number: BL4	
Number of Negatives: 35,36	Negative Location: BOULDER	
-----		
*Construction Date: ACTUAL 1890		
Source: BLDR COUNTY HERALD 1890		
-----		
Present Use: RESIDENTIAL		Historic Use: RESIDENTIAL
-----		
Condition: GOOD		Extent of Alterations: MODERATE
Description: ADDITIONS ON NORTH AND WEST/2ND STORY PORCH ENCLOSED		
-----		
ORIGINAL	If Moved, Date(s):	
-----		
Style: SHINGLE		Stories: 2 1/2
Materials: STONE, BRICK, WOOD		Square Footage: 6989
-----		
Field Assessment: ELIGIBLE		District Potential: YES CONTRIBUTING
-----		
Local Landmark Designation?: YES		Name: MAPLETON HILL
		Date:
-----		
Associated Buildings?: YES		Type: CARRIAGE HOUSE
If Inventoried, List Id Numbers:		
-----		
Architect: UNKNOWN		Source:
Builder/Contractor: UNKNOWN		Source:
Original Owner: FRANK J. WHITNEY		Source: BOULDER COUNTY HERALD 1890

Plan Shape: . . . . .  
 . . . . .  
 . . . . .  
 . . . . .  
 . . . . .  
 . . . . .  
 . . . . .  
 . . . . .  
 . . . . .

Theme(s):

Architectural Description:

Stone porch, brick to second floor, and square cut red shingles to gabled roof peak. White trim. Flared gabled roof. Two additions to the house on north and west. Characteristics of Richardsonian shingle style: rough-hewn stone and shingles and treatment of stairways on interior. Carriage house at rear.

Construction History:

Historical Background:

This house was built by Boulder druggist Frank J. Whitney in 1890. In 1900, Dr. William Duane, chairman of the Physics department at the University of Colorado, bought the house. He later left Boulder to work in Paris with the Curies. In 1917, he was made professor of Biophysics at Harvard. Dr. William Page Harlow was the third owner of the house. He was the dean of the University of Colorado Medical School and professor of medical diagnoses. He left a trust fund providing a professorship known as the W.P. Harlow Professor of Research in Hematology. Horace Holmes, the present owner of the house, is a county judge and is well-known for his work with juvenile offenders.

Architectural Significance:

- ☒ Represents the work of a master.
- ☐ Possesses high artistic values.
- ☒ Represents a type, period or method of construction.

Historical Significance:

- ☒ Associated with significant persons.
- ☐ Associated with significant events and/or patterns.
- ☒ Contributes to an historic district.

Statement of Significance:

The house has had many historically prominent owners. Frank J. Whitney, the original owner, was a Boulder druggist. Dr. William Duane, chairman of the University of Colorado Physics Department, bought the house in 1900. Duane later worked with the Curies in Paris. Dr. William Page Harlow, dean of the University of Colorado Medical School, was the third owner of the house. Horace Holmes, county judge, is the current owner.

The Richardsonian shingle style of the house is reflected in its rough-hewn stone and shingles on exterior walls and the suggestion of a tower. The architectural details and quality of design contribute to the historic district

References:

Susan Baldwin, Boulder Historic Places Inventory 1977  
Boulder County Assessor's Office  
Sanborn Maps 1906, 1910, 1918  
Boulder County Herald (weekly) April 9, 1890 5:3; June 11, 1890 8:4  
Daily Camera, Jane Barker May 6, 1973; September 25, 1954;  
May 12, 1924

Surveyed by Whitacre/Simmons Affiliation: Front Range Research  
Date: 1986





Address: **541 HIGHLAND AV**  
**Boulder, Colorado**

COLORADO CULTURAL RESOURCE SURVEY

**Cultural Resource Re-evaluation Form: Accessory Building Survey**

1. Resource Number: **5BL535.34**

2. Temp. Resource Number: **BUILDING A**

3. Attachments:

(Check as many as apply)

- ☒ Photographs
- ☒ Site sketch map
- ☐ U.S.G.S. map photocopy
- ☐ Other
- ☐ Other

4. Official determination:

**OAHP USE ONLY**

- ☐ Determined Eligible
- ☐ Determined Not Eligible
- ☐ Need Data
- ☐ Nominated
- ☐ Listed
- ☐ Contributing to N.R. District
- ☐ Not Contributing to N.R. District

5. Resource Name of Primary Building **Whitney - Holmes House**

6. Purpose of this current site visit: **Resurvey**

7. Previous Recordings: **Front Range Research Assoc. 1986**

8a. Description of Accessory Building:

**Two accessory buildings on lot.**

**(Building A): Dutch Gambrel roofed brick carriage-house with wood shingle roofing and siding on west and east ends of building. Side-hinged vertical board doors with diagonal bracing face 6th St.; west side features a "Palladian" window with three, double-hung windows with a half circle decorative window above the center window. Two, segmentally arched double-hung windows face the alley on the north. On the east side there is a wood stair leading to the upper level, a paneled pedestrian door with a single-light pane, and a double-hung window. (Building B): a "contributing" wood shed, is described on a separate form.**

Outbuilding Type:

**Carriage House**

Outbuilding Material:

**Wood Frame**

Outbuilding Covering

**Wood Siding**

Outbuilding Roof Material

**Wood**

8b. Date of Construction: **pre 1918**

8c. Date of Construction Source:

1918 Sanborn Map: building appears on map.

Historic Assessor's Card, Carnegie Library: reappraised 1936, note says garage exists.

9. Condition: **Fair**

10a. Changes to Location or Size Information:

10b. UTM Coordinates:

**Cultural Resource Re-evaluation Form:  
Accessory Building Survey**

page 2 of 2

Address: **541 HIGHLAND AV  
Boulder, Colorado**

Temp. Resource Number **BUILDING A**

11. Current Ownership    HOLMES JUNE S ESTATE  
                                 720 11TH ST  
                                 BOULDER  
                                 CO  
                                 80302

12. Other Changes, Additions or Observations:

13. Eligibility Assessment:

Individual

District

National Register: **N/A**

National Register: **Contributing**

Local Landmark: **N/A**

Local: **Contributing**

Locally Designated Property: **YES**

14. Management Recommendations: **N/A**

15. Photograph Types and Numbers:

Type: **B&W**

Roll No: **10**

Frame No: **36, 37**

16. Artifact and Field Documentation Storage Location **N/A**

17. Report Title: **Accessory Building Survey**

18. Recorder(s): **Kathryn Howes Barth, AIA; Lara Ramsey**

19. Date(s): **Apr. 2005**

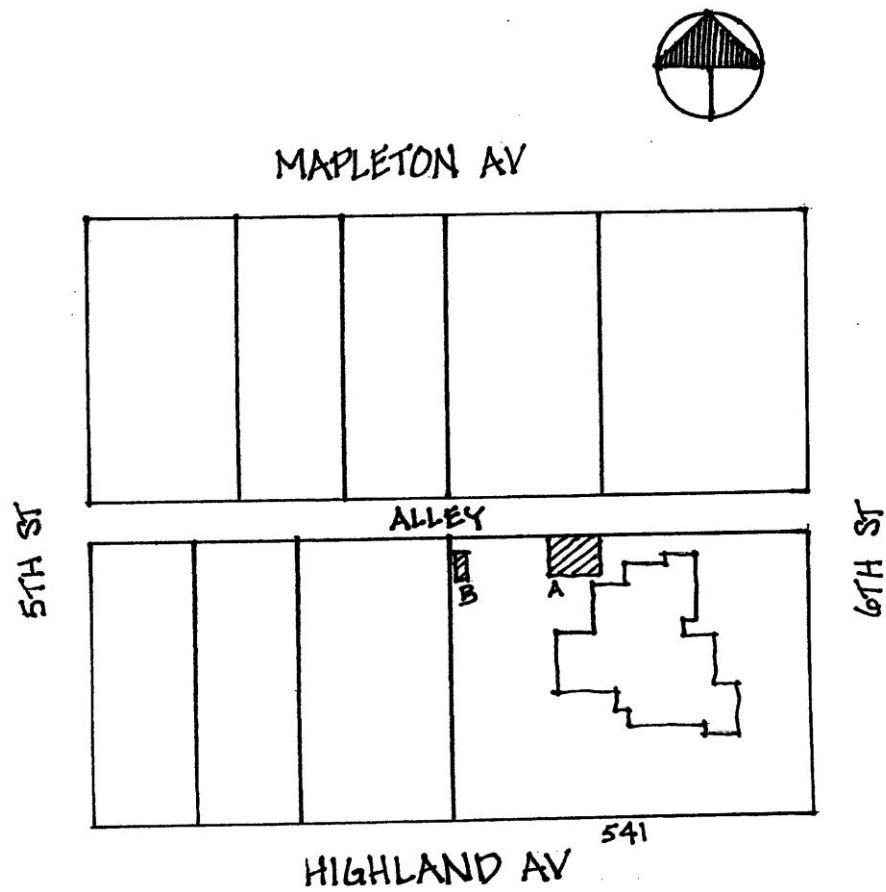
20. Recorder Affiliation: **Kathryn Howes Barth, AIA; Ramsey Planning and Preservation**



5BL535.43

541 HIGHLAND AV

SITE PLAN





Address: **541 HIGHLAND AV B**  
**Boulder, Colorado**

COLORADO CULTURAL RESOURCE SURVEY

**Cultural Resource Re-evaluation Form: Accessory Building Survey**

1. Resource Number: **5BL535.34**

2. Temp. Resource Number: **BUILDING B**

3. Attachments:

(Check as many as apply)

- ☒ Photographs
- ☒ Site sketch map
- ☐ U.S.G.S. map photocopy
- ☐ Other
- ☐ Other

4. Official determination:

**OAHP USE ONLY**

- ☐ Determined Eligible
- ☐ Determined Not Eligible
- ☐ Need Data
- ☐ Nominated
- ☐ Listed
- ☐ Contributing to N.R. District
- ☐ Not Contributing to N.R. District

5. Resource Name of Primary Building **Whitney - Holmes House**

6. Purpose of this current site visit: **Resurvey**

7. Previous Recordings: **Front Range Research Assoc. 1986**

8a. Description of Accessory Building:

**Small shed-roofed building on west lot line, with composition roofing, wood siding, trim and exposed rafter tails. Foliage restricts view of building.**

**There is no record of when this building was built. Small sheds like this were often built without permits in earlier times. Construction methods and materials indicate building is more than 50 years old, and is similar to other early sheds. Assume building was built during period of significance (1865-1946).**

Outbuilding Type:

**Shed**

Outbuilding Material:

**Wood Frame**

Outbuilding Covering

**Wood Siding**

Outbuilding Roof Material

**Asphalt**

8b. Date of Construction: **ca. 1946**

8c. Date of Construction Source:

1931 Sanborn Map: not on map.  
Boulder Building Department: no information about shed.  
Historic Assessor's Card, Carnegie Library: no mention of this shed.

Assume building was built during period of significance (1865-1946).

9. Condition: **Fair**

10a. Changes to Location or Size Information:

10b. UTM Coordinates:

**Cultural Resource Re-evaluation Form:  
Accessory Building Survey**

page 2 of 2

Address: **541 HIGHLAND AV B  
Boulder, Colorado**

Temp. Resource Number **BUILDING B**

11. Current Ownership

12. Other Changes, Additions or Observations:

13. Eligibility Assessment:

Individual

District

National Register: **N/A**

National Register: **Contributing**

Local Landmark: **N/A**

Local: **Contributing**

Locally Designated Property: **YES**

14. Management Recommendations: **N/A**

15. Photograph Types and Numbers:

Type: **B&W**

Roll No: **11**

Frame No: **3A**

16. Artifact and Field Documentation Storage Location **N/A**

17. Report Title: **Accessory Building Survey**

18. Recorder(s): **Kathryn Howes Barth, AIA; Lara Ramsey**

19. Date(s): **Apr. 2005**

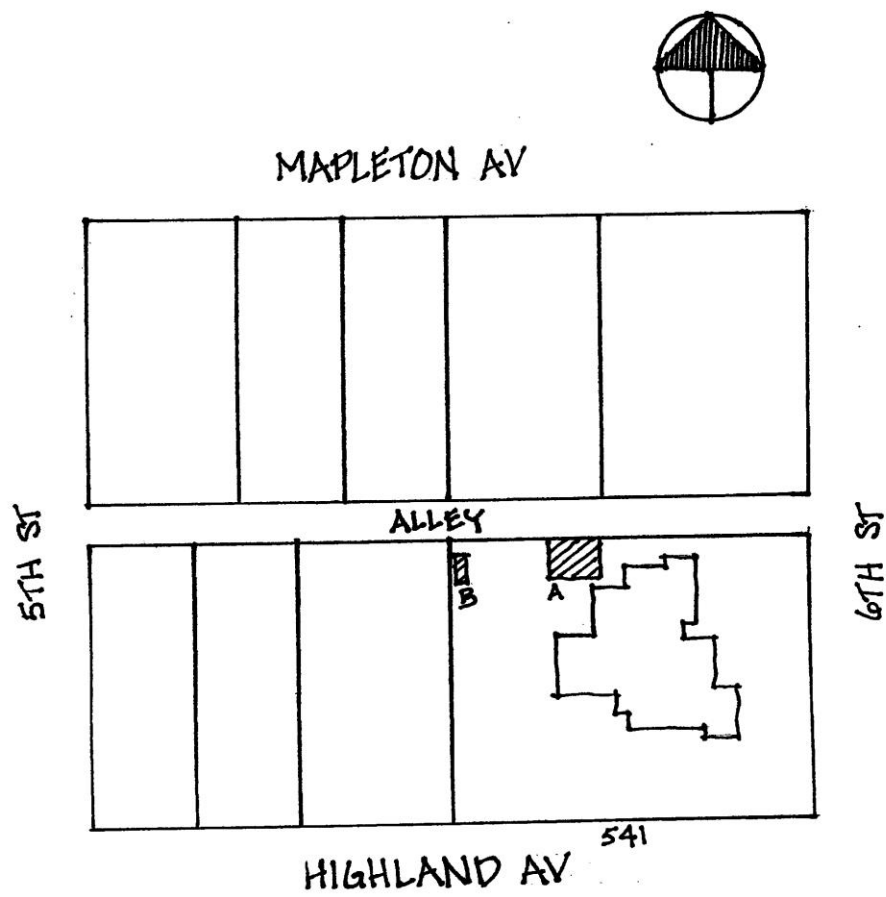
20. Recorder Affiliation: **Kathryn Howes Barth, AIA; Ramsey Planning and Preservation**



SBL535.43

541 HIGHLAND AV

SITE PLAN



## Tax Assessor Card

[illegible]

541 Highland Ave, Tax Assessor Card







541 Highland Ave, Tax Assessor Photograph, c.1949



541 Highland Ave, Tax Assessor Photograph, c.1960



**Attachment C:      Photographs**



541 Highland Ave., 2014.



Detail of dormer window, 2014





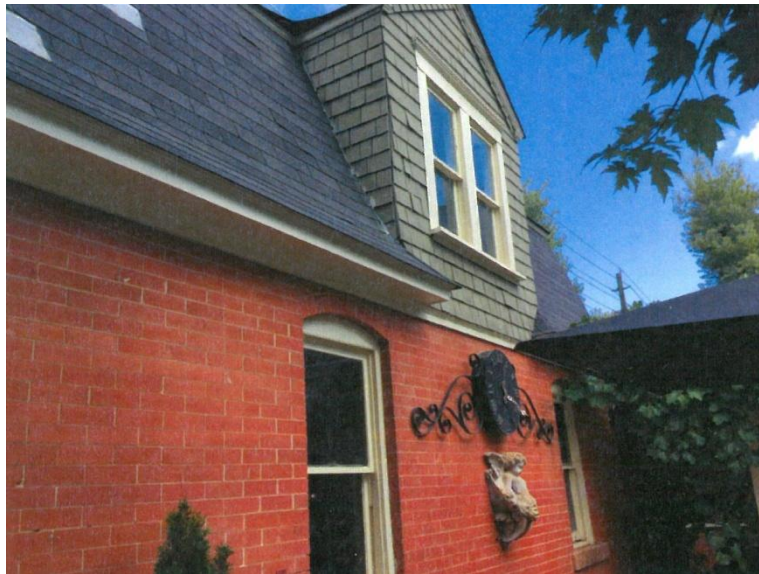
East and North Elevations, 2014.



East and North Elevations, 2014.



North and West Elevations, 2014.



South Elevation, 2014.



South and West Elevations, 2014.

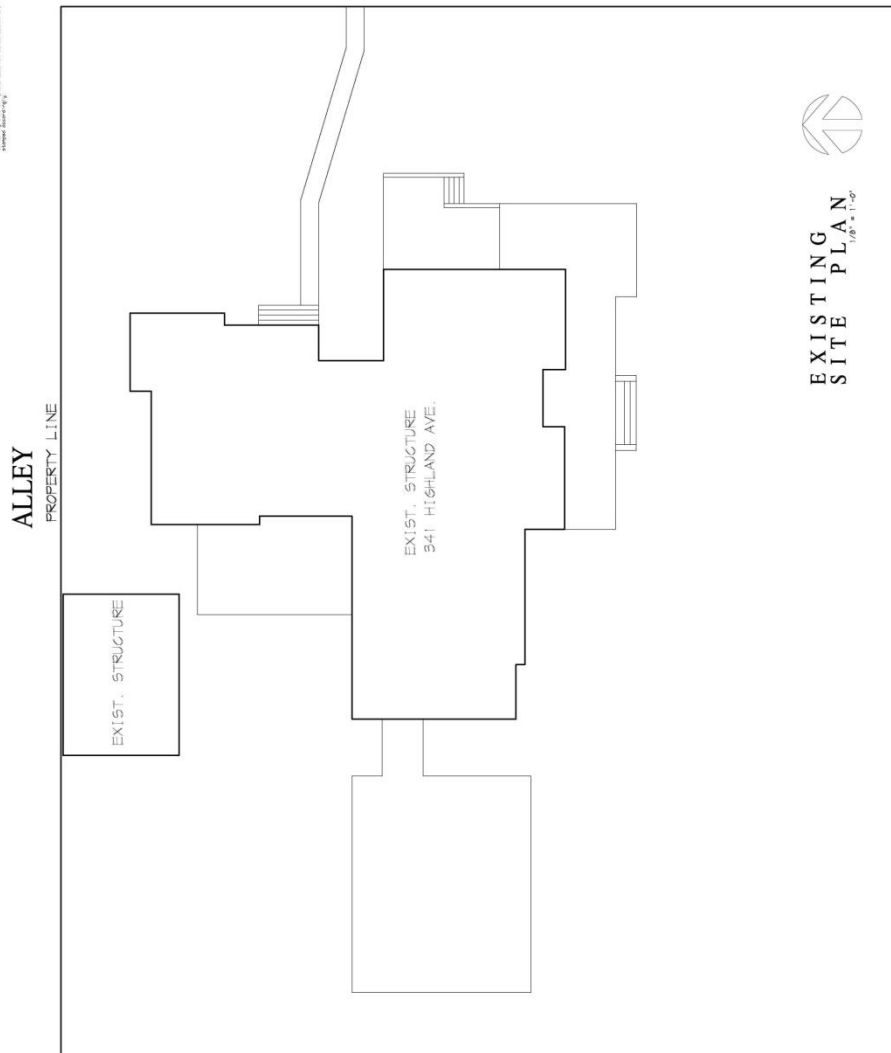


Southwest corner, 2014.

# Attachment D: Plans and Elevations

 <p>WHITTEN DESIGN GROUP 1800 Customer Center Boulder, Colorado 80501 Phone: 303-442-1288 Fax: 303-442-2115</p>	CENTENO RESIDENCE		DATE: REVISION:	PROJECT 6532 SHEET OF
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1. These drawings were prepared by the Whitten Design Group, Inc. (Whitten) for the purpose of illustrating the proposed design of the Centeno Residence. Whitten is not responsible for the accuracy of the information provided by the client or for the results of the design. Whitten is not responsible for the design of the structure or for the construction of the structure. Whitten is not responsible for the design of the structure or for the construction of the structure. Whitten is not responsible for the design of the structure or for the construction of the structure.



Existing Site Plan, 541 Highland Ave., 2015



 WHITTEN DESIGN GROUP 1800 KENNEDY BLVD, SUITE 100 FARMINGTON, CT 06030 (860) 676-1100 www.whittendesigngroup.com	CENTENO RESIDENCE		DATE : REVISION :	PROJECT 6532	SHEET OF
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3. The drawings are not to be used for any other purpose, including but not limited to, construction, permitting, or marketing.

4. Whitten Design Group, Inc. is not responsible for any errors or omissions on these drawings.

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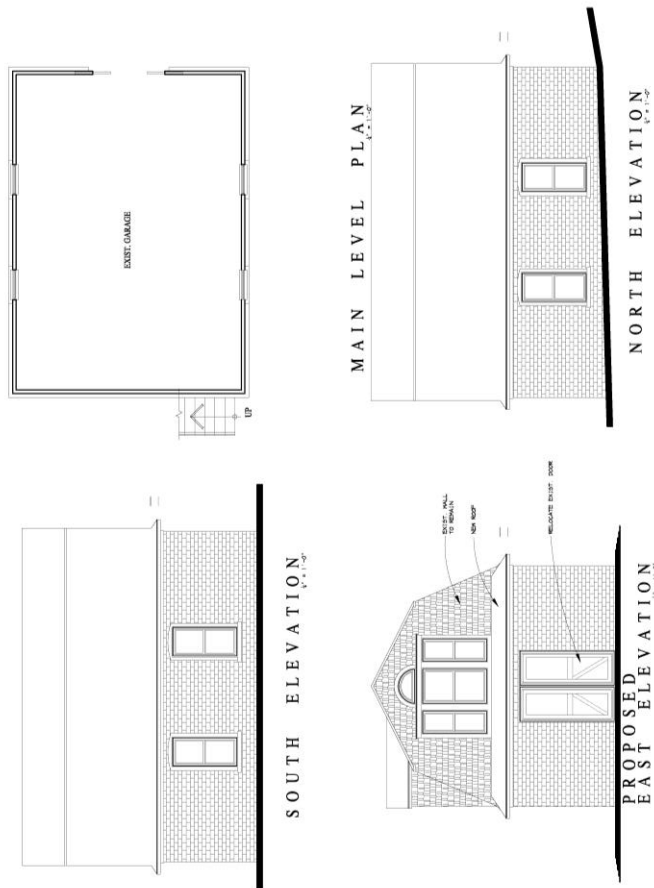
6. The drawings are to be used in accordance with the applicable zoning regulations.

7. The drawings are to be used in accordance with the applicable environmental regulations.

8. The drawings are to be used in accordance with the applicable health and safety regulations.

9. The drawings are to be used in accordance with the applicable fire and life safety regulations.

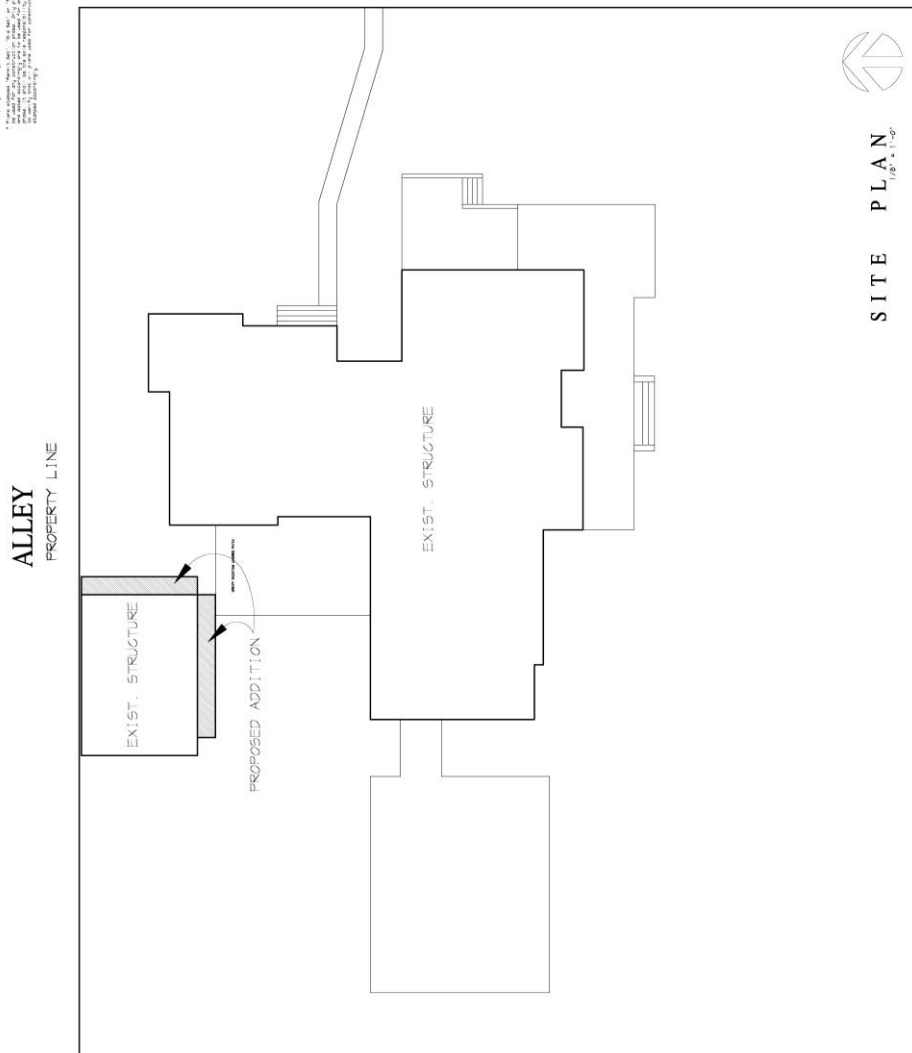
10. The drawings are to be used in accordance with the applicable accessibility regulations.



Existing Elevations, 541 Highland Ave., 2015

 <p>Whitten Design Group 1800 Chippendale Drive Boulder, Colorado 80501 Phone: 303.440.1234 Fax: 303.440.1235</p>	CENTENO RESIDENCE		DATE : REVISION :	PROJECT 6632 SHEET OF
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Proposed Site Plan, 541 Highland Ave., 2015.

